



Minor Subdivision Application Plan

#37 West Long Drive

Tax Map Lot 12.01, Block 2801, Sheet 28.04 for

Dennis & Laura Waters

Lawrence Township - Mercer County - New Jersey



Property Owners List

- Block 2801**
- Lot 10 - Wajeeh & Shemila Butt - 21 West Long Drive, Lawrenceville, N.J. 08648
 - Lot 11 - Walter M. & Bonnie W. Rawley - 41 West Long Drive, Lawrenceville, N.J. 08648
 - Lot 14 - RK & DJ Prud'Homme - & Princeton University - 31 West Long Drive Lawrenceville, N.J. 08648
 - Lot 15 - HLB Royal - 25 West Long Drive, Lawrenceville, N.J. 08648
 - Lot 24 - Rider University - 2083 Lawrence Road Lawrenceville, N.J. 08648
- Block 2807**
- Lot 7 - John N. & Margery Perkins - 34 West Long Drive, Lawrenceville, N.J. 08648
 - Lot 8 - Charles J. & Lisa A. Vinch West - 40 West Long Drive, Lawrenceville, N.J. 08648
 - Lot 9 - Richard A. & Susan N. Brown 42 West Long Drive, Lawrenceville, NJ 08648
 - Lot 10 - Zalina Veale - 26 West Long Drive Lawrenceville, N.J. 08648
- Block 2808**
- Lot 10 - Paul S. & Ronni Blas Mackles - 28 West Long Drive, Lawrenceville, N.J. 08648



Key Map - Lawrence Township Zoning Map

Scale: 1"=400'



Aerial Map - Google Earth

Scale: 1"=500'

ZONING SCHEDULE - ZONE R-1

Residential 1 District	ZONING REQ
LOT AREA	43,560 Sq. Ft.
MINIMUM LOT FRONTAGE	175 Ft.
MINIMUM FRONT YARD	50 Ft.
MINIMUM SIDE YARD	15 Ft.
MINIMUM REAR YARD	40 Ft.
MAXIMUM IMPERVIOUS SURFACE RATIO	0.35
MINIMUM USEABLE SIDEYARD AREA	20% Each Yard
MAXIMUM BUILDING HEIGHT	
PRINCIPAL USE	35 Ft.
GARAGE	20 Ft.
BARN OR SILO	50 Ft.
OTHER ACCESSORY BUILDINGS	15 Ft.
ACCESSORY BUILDINGS:	
MINIMUM SIDEYARD/REARYARD SETBACK	1.5 Ft.*

* A distance greater than or equal to the structure's height, but not less than 1.5 feet.

Owner & Applicant
Dennis P. & Laura O. Waters
 4 Ivy Glen Lane
 Lawrenceville, N.J. 08648
 609-924-5922

SITE DATA

Lawrence Township Tax Map
 Lot 12.01
 Block 2801
 Sheet 28.04
 Site Address
 37 West Long Drive
 Lawrenceville, New Jersey 08648

Plan List

1. Key Map & Cover Sheet
2. Minor Subdivision Plan
3. Minor Subdivision Detail Plan

List of Required Regulatory Approvals

1. Lawrence Township Planning Board
2. Mercer County Planning Board
3. Lawrence Township Soil Disturbance Permit.

Princeton Junction Engineering, P.C.
 Professional Engineers, Land Surveyors and Planners

P.O. Box 610 - 53 North Post Road
 Princeton Junction, New Jersey 08550

Telephone: 609.799.1906 Facsimile: 609.799.1524 Email: pjpec@pjpec.com

D. Geoffrey Brown No. 24327
 Frank J. Falcone No. 32112
 Kevin M. Brakel No. 3760
 No. 44194

Frank J. Falcone
 N.J. Professional Engineer and Professional Planner
 Date 7/1/2022

Key Map & Cover Sheet
 #37 West Long Drive
 of Tax Maps Lot 12.01, Block 2801, Sheet 28.04 for
Dennis & Laura Waters
 Located in
 Lawrence Township * Mercer County * New Jersey

Date: 5/20/2022
 Scale: As shown
 Drawn: FJF
 Check: RR/FJF

Job#: F220412
 Dwg:
 View: Window

File # F220412

Sheet 1 of 3

NO.	DATE	DESCRIPTION	BY
1	7/1/2022	As per Lawrence Twp. Review	FJF



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No. 24327
 No. 23112
 No. 37614
 No. 34164
 PE, CME, PP & PLS
 PE, CME, PLS
 PE, CME
 D. Geoffrey Brown
 Frank J. Falcone
 Kevin M. Brakel

Frank J. Falcone
 N.J. Professional Land Surveyor
 Professional Planner
 Date: 7/12/2022

Plan of Minor Subdivision
 #37 West Long Drive
 of Tax Maps Lot 12.01, Block 2801, Sheet 28.04 for
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 Located in
 Lawrence Township * Mercer County * New Jersey

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Sheet 2 of 3

LEGEND

---	Existing Spot Elevation
---	Existing Topographic Contour
---	Existing Tree/Woods Line
---	Overhead Utility Wires
○	Utility Pole
□	Electric Transformer
□	Utility Box
□	A.C. Unit
---	Gas Line
---	Electric Line
---	Telephone/Cable TV Line
---	Water Line
---	Gas Valve
---	Water Valve
---	Fire Hydrant
○	Light Pole
---	Sanitary Sewer Service Line
---	Sanitary Sewer Man
○	Sanitary Sewer Manhole
○	Storm Sewer Inlet
○	Storm Sewer Manhole
---	Storm Sewer Line
---	Fence Line
---	Curb Line
---	Right of Way Center Line
---	Right of Way Line
---	Wetlands Limit Line
---	Proposed Topographic Contour
---	Proposed Spot Elevation

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- Block 2808**
- Lot 10 - Paul S. & Ronni Blas Mackles - 28 West Long Drive, Lawrenceville, N.J. 08648

Existing Lot Coverage

Dwelling	=	2,878 Sq. Ft.
Driveway	=	1,823 Sq. Ft.
Walks	=	775 Sq. Ft.
Dwelling	=	5,476 Sq. Ft.
99,452 Sq. Ft.	=	5.51%

Lot Area Breakdown

Proposed Lot 12.011 Block 2801 Area	=	53,369 Sq. Ft. = 1.2252 Acres
Proposed Lot 12.012 Block 2801 Area	=	46,083 Sq. Ft. = 1.0579 Acres
Existing Lot 12.01 Block 2801 Area	=	99,452 Sq. Ft. = 2.2831 Acres

ZONING SCHEDULE - ZONE R-1

	ZONING REQ	EXISTING	PROPOSED LOT 12.011	PROPOSED LOT 12.012
Residential 1 District LOT AREA	43,560 Sq. Ft.	99,452 Sq. Ft.	53,369 Sq. Ft.	46,083 Sq. Ft.
MINIMUM LOT FRONTAGE	175 Ft.	442.22 Ft.	224.91 Ft.	207.39 Ft.
MINIMUM FRONT YARD	50 Ft.	59.6 Ft.	59.6 Ft.	-
MINIMUM SIDE YARD	15 Ft.	110.2 Ft.	110.2 Ft.	-
MINIMUM REAR YARD	40 Ft.	102.5 Ft.	102.5 Ft.	-
MAXIMUM IMPERVIOUS SURFACE RATIO	0.35	0.051	0.051	-
MINIMUM USEABLE SIDEYARD AREA	20% Each Yard	20%	20%	20%
MAXIMUM BUILDING HEIGHT				
PRINCIPAL USE	35 Ft.	31.0 Ft.	31.02 Ft.	-
GARAGE	20 Ft.	(n/a)	-	-
BARN OR SILO	50 Ft.	(n/a)	-	-
OTHER ACCESSORY BUILDINGS	15 Ft.	(n/a)	-	-
ACCESSORY BUILDINGS:				
MINIMUM SIDEYARD/REARYARD SETBACK	15 Ft.*	-	-	-

* A distance greater than or equal to the structure's height, but not less than 15 feet.

APPROVALS

I hereby certify that I own the property as shown and designated herein, and that the subdivision as shown is made with my free consent, and in accordance with my desires.

Owner: Dennis Waters Date: 5/20/2022

I hereby certify that this map and survey have been made under my direct supervision, and complies with the provisions of the "Map Filing Law" PL 1960.

Approved by the Lawrence Township Planning Board Date: 5/20/2022

Chairperson _____ Date _____

Secretary _____ Date _____

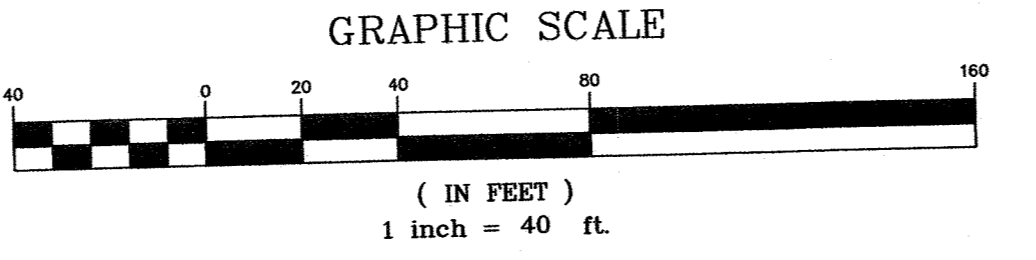
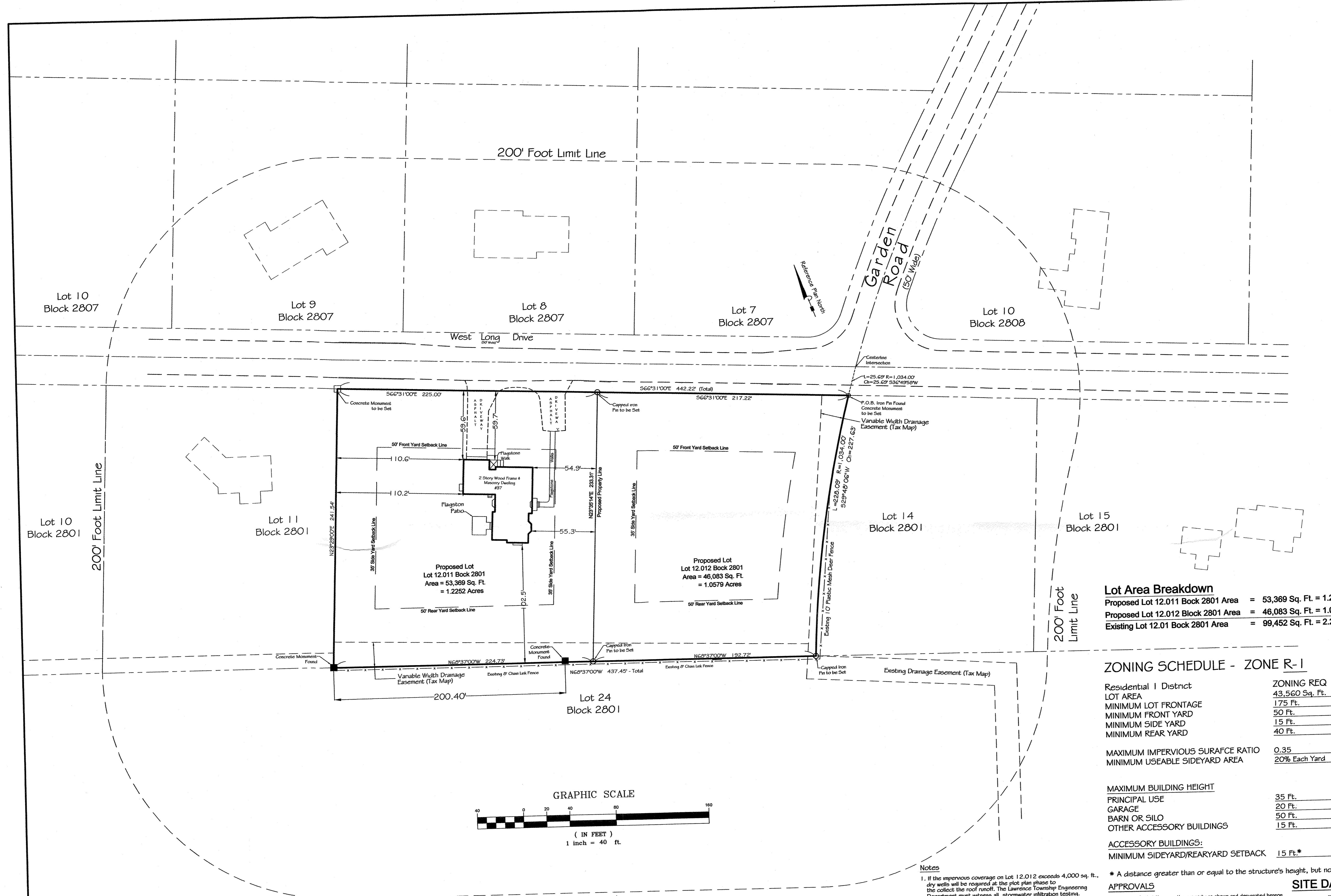
Municipal Engineer _____ Date _____

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 Lot 12.01
 Block 2801
 Sheet 28.04
 Site Address
 37 West Long Drive
 Lawrenceville, New Jersey 08648

Owner & Applicant
 Dennis P. & Laura O. Waters
 4 Ivy Glen Lane
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 Phone # 609-924-5922
 Email: dpwaters@gmail.com

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200' Foot Limit Line

Required Regulatory Approvals

- Mercer County Planning Board approval.
 - Lawrence Township Construction Permit Approval.
 - Lawrence Township Soil Disturbance approval
- Waivers Requested**
- All stormwater management requirements-none required at this time
 - Architectural Plans - Not necessary at this time.
 - Soil Permeability Testing - Not Necessary-public sewer available.
 - Stream Encroachment - No Streams Impact the site.
 - Freshwater Wetlands - No Freshwater Wetlands on or near the site..
 - Parking Plan - Not necessary.
 - Architectural Design Plans - Not known at this time.

NOTE:

Lot 12.012, Block 2801 as shown shall not be developed with more than 1/4 acres (10,890 square feet) of impervious coverage without the approval of the Lawrence Township Engineer and the installation of storm water management facilities pursuant to Section 522.F of the Lawrence Township Land Use Ordinance. Engineering Design for any improvements will be required and may include soil testing for infiltration areas, drainage designs and tree removal considerations which will be addressed during the plot plan phase.

Notes

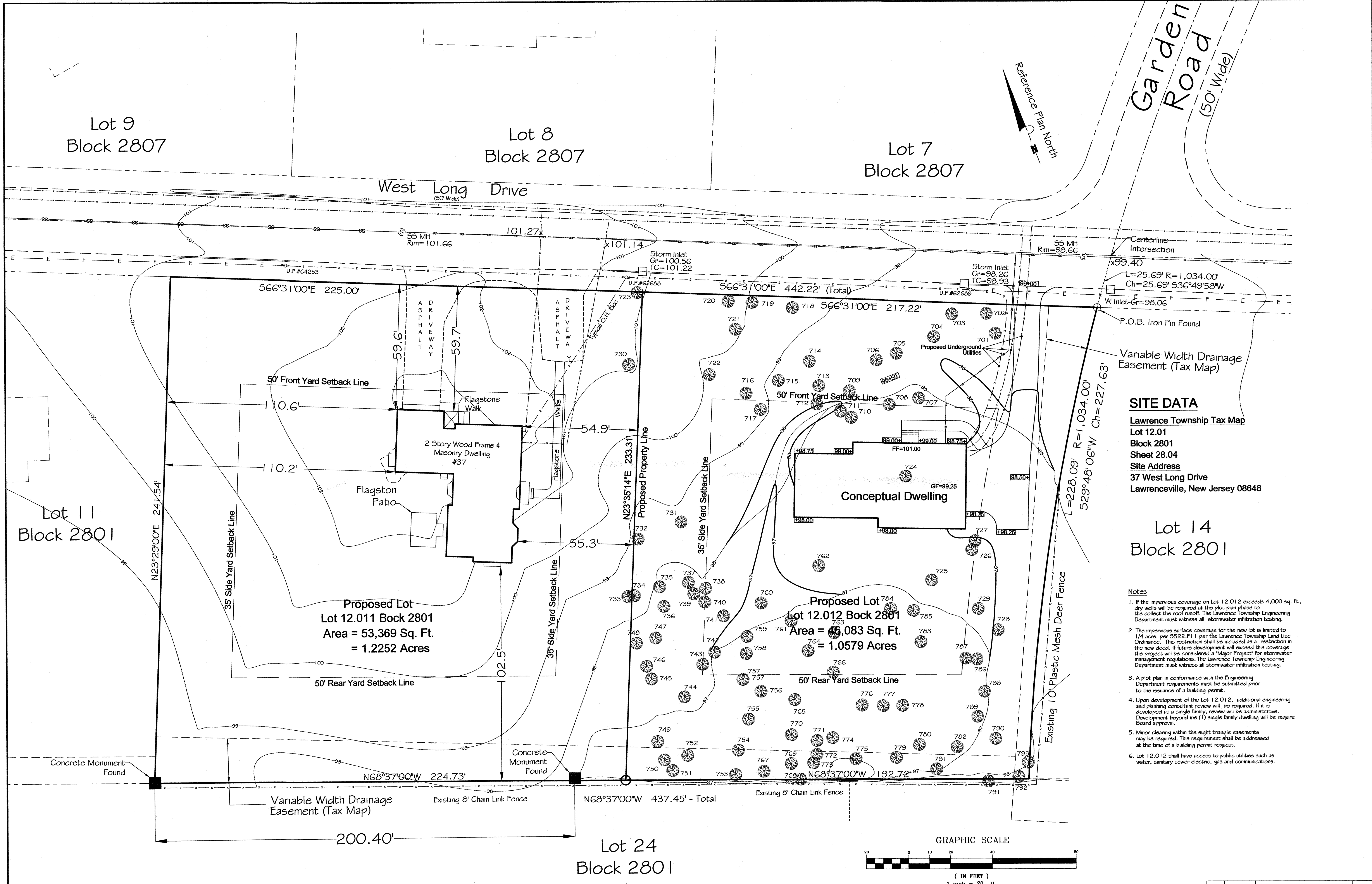
- If the impervious coverage on Lot 12.012 exceeds 4,000 sq. ft., dry wells will be required at the plot plan phase to collect the roof runoff. The Lawrence Township Engineering Department must witness all stormwater infiltration testing.
- The impervious surface coverage for the new lot is limited to 1/4 acre, per 5522.F.11 per the Lawrence Township Land Use Ordinance. This restriction shall be included as a restriction in the new deed. If future development will exceed this coverage the project will be considered a "Major Project" for stormwater management regulations. The Lawrence Township Engineering Department must witness all stormwater infiltration testing.
- A plot plan in conformance with the Engineering Department requirements must be submitted prior to the issuance of a building permit.
- Upon development of the Lot 12.012, additional engineering and planning consultant review will be required. If it is developed as a single family, review will be administrative. Development beyond one (1) single family dwelling will require Board approval.
- Minor cleaning within the sight triangle easements may be required. This requirement shall be addressed at the time of a building permit request.
- Lot 12.012 shall have access to public utilities such as water, sanitary sewer electric, gas and communications.

Reference Plans

- Being shown on a map entitled "Section 2 Longacres Lawrence Township - Mercer County, N.J. Scale 1"=100' Oct. 26, 1964 Prepared by Carl G. Brecht - P.E. & L.S. #9525 for Longacres Builders, Inc." Said map filed in the Mercer County Clerks Office on January 11, 1965 as Map No. 1750
- "Plan of Survey for Laszlo P. Pokorny & Chen Pokorny 37 West Long Drive, Lawrence Township Mercer County New Jersey" Prepared by A-1 Land Surveys, Inc., Trenton, N.J. 08606, dated 3/7/2013.

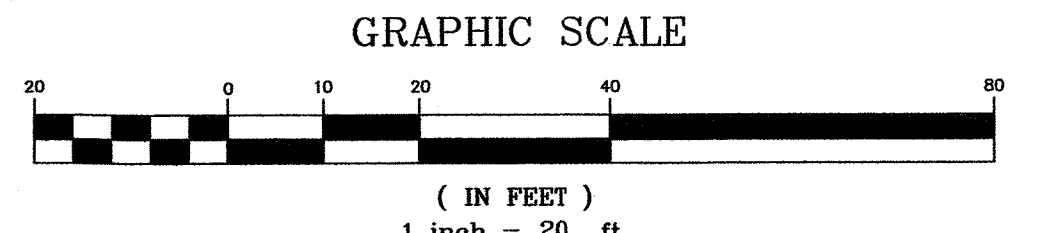
Note: Location and elevations of underground utilities and features shown hereon, have been collected from various sources and are not guaranteed as to accuracy or completeness. The contractor shall verify all information to his satisfaction prior to excavation or construction. Where existing utilities or features may interfere with proposed construction, test pits shall be dug by the contractor prior to construction to ascertain existing locations and elevations. Any conflicts shall be brought to the attention of the engineer prior to construction to permit adjustments as required to resolve conflicts.





SITE DATA
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Lot 12.01
Block 2801
Sheet 28.04
Site Address
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Lawrenceville, New Jersey 08648

- Notes**
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LEGEND

	Existing Spot Elevation
	Existing Topographic Contour
	Existing Tree/Woods Line
	Overhead Utility Wires
	Utility Pole
	Electric Transformer
	Utility Box
	A.C. Unit
	Gas Line
	Electric Line
	Telephone/Cable TV Line
	Water Line
	Gas Valve
	Water Valve
	Fire Hydrant
	Light Pole
	Sanitary Sewer Service Line
	Sanitary Sewer Manhole
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	Fence Line
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	Proposed Spot Elevation

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Driveway	=	1,823 Sq. Ft.
Walks	=	775 Sq. Ft.
Driveway	=	5,476 Sq. Ft.

5,476 Sq. Ft. = 5.51%
99,452 Sq. Ft.

EXISTING TREE LIST

NO.	CAL./SPECIES	NO.	CAL./SPECIES
701	20" SWEETGUM	751	12" OAK
702	0" DOGWOOD	752	10" SHAGBARK HICKORY
703	32" POPLAR	753	12" SHAGBARK HICKORY
704	21" SWEETGUM	754	14" SHAGBARK HICKORY
705	30" POPLAR	755	18" OAK
706	20" POPLAR	756	21" OAK
707	24" TWIN MAPLE	757	14" OAK
708	34" POPLAR	758	16" OAK
709	20" POPLAR	759	10" HICKORY
710	15" WALNUT	760	10" CHERRY
711	24" POPLAR	761	16" MAPLE
712	20" POPLAR	762	36" OAK
713	13" POPLAR	763	17" SWEETGUM
714	24" POPLAR	764	12" OAK
715	19" POPLAR	765	12" HICKORY
716	34" POPLAR	766	24" OAK
717	30" POPLAR	767	14" SHAGBARK HICKORY
718	34" POPLAR	768	28" OAK
719	20" POPLAR	769	14" SHAGBARK HICKORY
720	24" ASH	770	0" SHAGBARK HICKORY
721	28" TWIN POPLAR	771	14" SHAGBARK HICKORY
722	36" TWIN POPLAR	772	14" MAPLE
723	19" SWEETGUM	773	0" SHAGBARK HICKORY
724	32" POPLAR	774	10" SHAGBARK HICKORY
725	15" CHERRY	775	14" SHAGBARK HICKORY
726	18" SWEETGUM	776	22" POPLAR
727	34" POPLAR	777	0" POPLAR
728	22" SWEETGUM	778	27" WALNUT
729	15" CHERRY	779	16" SHAGBARK HICKORY
730	36" POPLAR	780	0" SHAGBARK HICKORY
731	36" POPLAR	781	16" SHAGBARK HICKORY
732	36" POPLAR	782	16" SHAGBARK HICKORY
733	16" POPLAR	783	14" MAPLE
734	24" POPLAR	784	15" MAPLE
735	0" CHERRY	785	12" CHERRY
736	16" POPLAR	786	10" SWEETGUM
737	16" POPLAR	787	16" SWEETGUM
738	24" POPLAR	788	36" ASH
739	15" POPLAR	789	30" OAK
740	18" POPLAR	790	0" HICKORY
741	14" SWEETGUM	791	12" POPLAR
742	17" SWEETGUM	792	16" ASH
743	36" TWIN POPLAR	793	10" ASH
744	24" POPLAR		
745	10" POPLAR		
746	22" POPLAR		
747	15" SWEETGUM		
748	0" MAPLE		
749	12" SHAGBARK HICKORY		
750	12" SHAGBARK HICKORY		

No. 2427
No. 3712
No. 4194
PE, CME, PP & PLS
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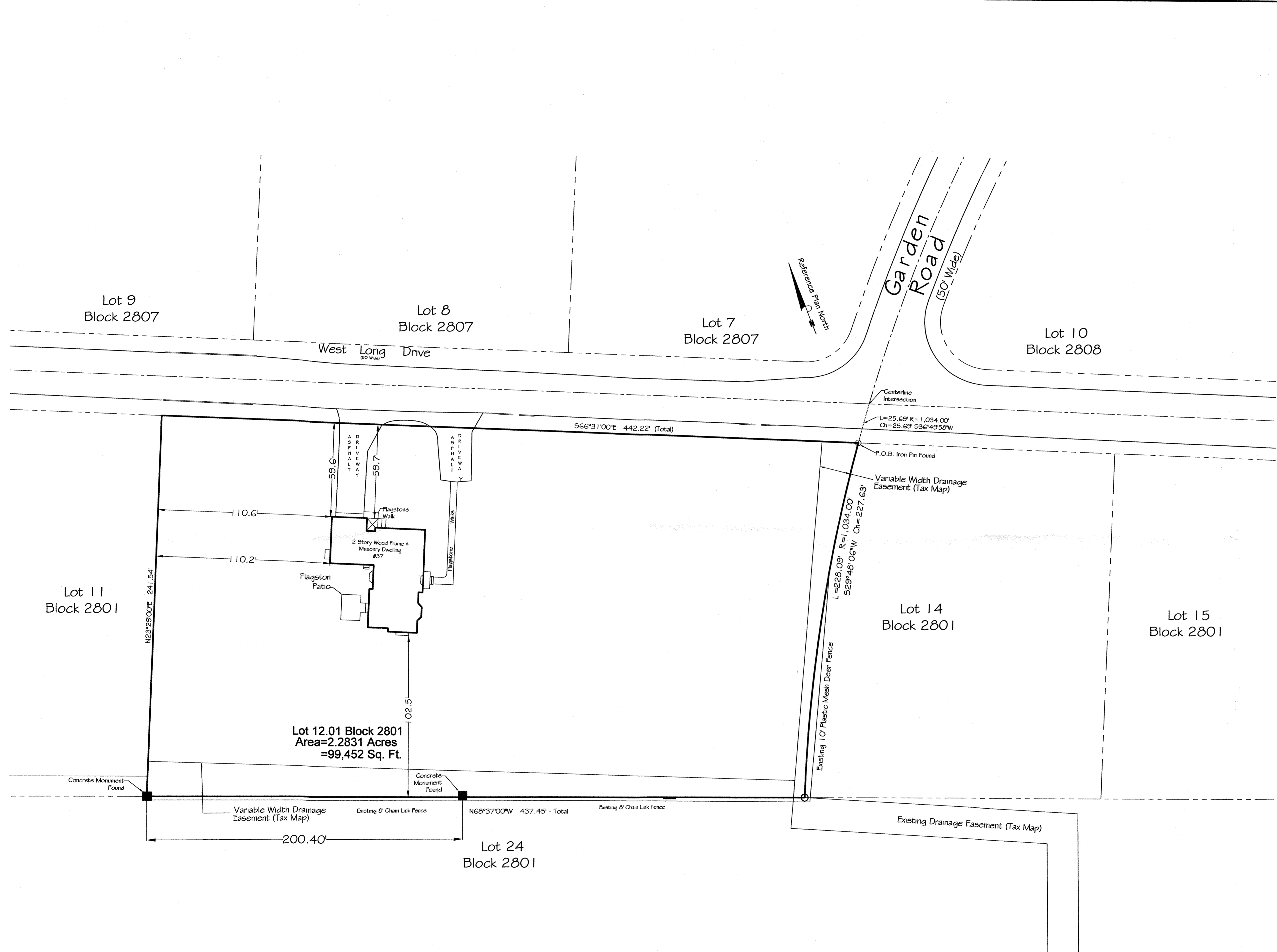
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Note: Vertical Datum Shown Hereon is in NGVD NAD88 Datum.

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